

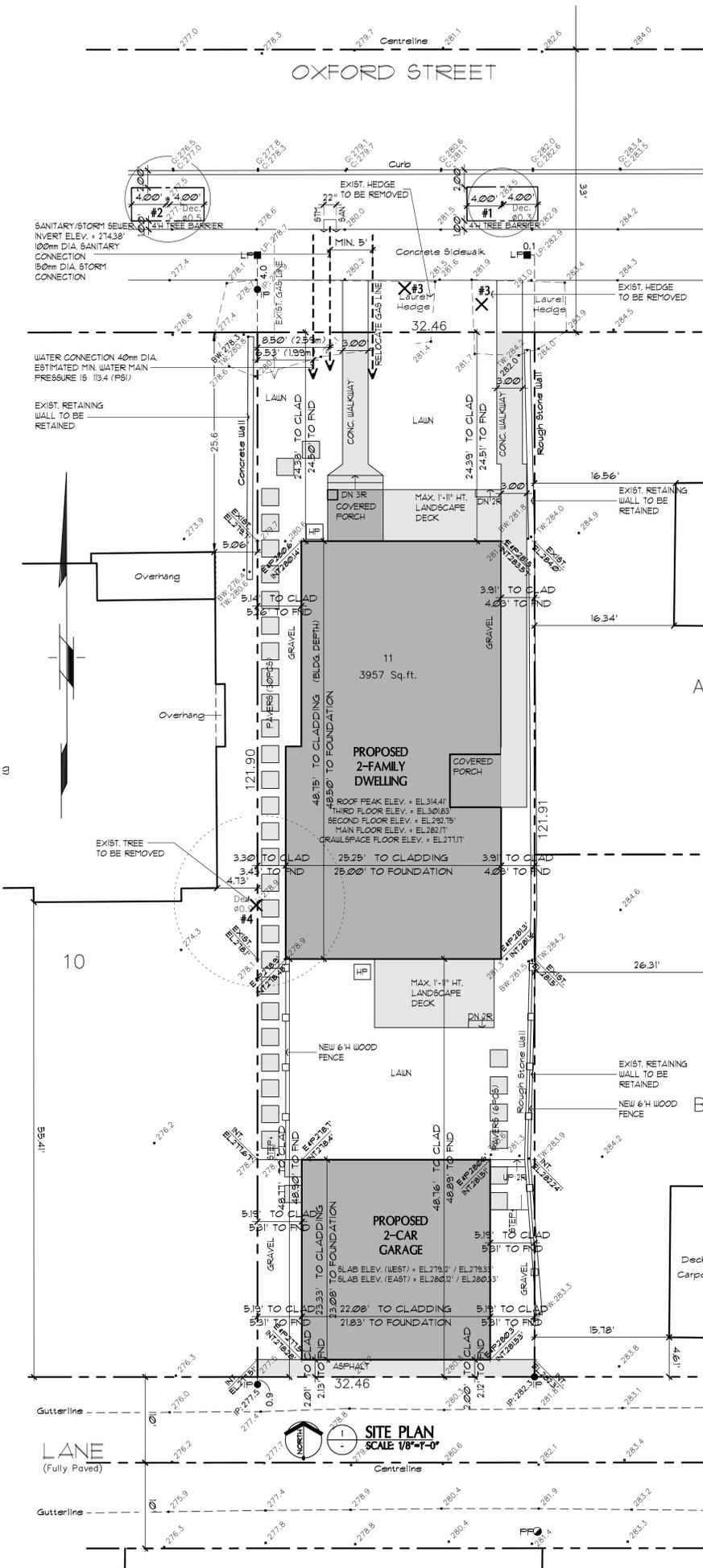
PROPOSED TWO FAMILY DWELLING WITH 2-CAR GARAGE

3674 OXFORD STREET, VANCOUVER, BC

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PROJECT CONTACTS:

OWNER/TENANT:	DESIGNER: DWG DESIGN WORK GROUP LTD. CONTACT: PEGGIE YUEN UNIT 203, 5066 KINGSWAY BURNABY, B.C. V5H 2E7 TEL: 604.681.8152 FAX: 604.681.8152 EMAIL: pyuen@designworkgroup.biz	SURVEYOR: KEN K. WONG AND ASSOCIATES B.C. LAND SURVEYOR CONTACT: STEVE WONG BCL6 5624 EAST HASTINGS STREET BURNABY, B.C. V5B 1R4 TEL: 604.294.8881 EMAIL: wong.associates@shawbiz.ca	STRUCTURAL:	CERTIFIED ENERGY ADVISOR:	ARBORIST:
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CITY STAMPS:

3'-0" CLEAR FIREFIGHTING ACCESS TO BE MAINTAINED AT ALL TIMES. NO PROJECTIONS INCLUDING SERVICE/UTILITY CONNECTIONS PERMITTED IN THE DESIGNATED 3'-0" PATH

LANDSCAPE IRRIGATION REQUIRED: BACKFLOW PREVENTION AND AN UNOBSTRUCTED SHUT-OFF VALVE. ADDITIONALLY, WHERE WATER SUPPLY PRESSURE EXCEEDS 550 KPA, A PRESSURE REDUCING VALVE IS REQUIRED. REFERENCE: VBBL BOOK 1 SECTION 10.3.1.4

PER VBBL 2019 9.10.5.4(7) AND 9.10.5.5(9) 4 (10) 4 (13), IF LIMITING DISTANCE IS LESS THAN 121 (394') BUT NOT LESS THAN 1M (3.28') ROOF SOFFITS SHALL NO OPENING, AND THE EXPOSING BUILDING FACES MAY BE CONSTRUCTED WITH A WOOD STUD WALL THAT MEETS THE FOLLOWING REQUIREMENTS:
-ONE HOUR FIRE RESISTANCE RATING
-FILLED WITH NON-COMBUSTIBLE INSULATION
-NON-COMBUSTIBLE CLADDING
-TEMPERED, WIRED OR LAMINATED GLASS OR GLASS BLOCK TO BE USED FOR ALL GLAZING OPENINGS

ELECTRIC VEHICLE OUTLET BOX TO BE INSTALLED IN THE PARKING AREA

PROJECT DRAWING LIST:

DRAWING LIST:	
A1	SITE PLAN, CONTACTS, ZONING SUMMARY, PROJECT DRAWING LIST
A2	VBBL 2019 REQUIREMENTS 4 GENERAL NOTES
A3	SITE COVERAGE 4 IMPERMEABLE SITE PLAN, CRACKSPACE PLAN
A4	MAIN 4 SECOND FLOOR PLANS
A5	THIRD FLOOR 4 ROOF PLANS
A6	ELEVATIONS
A7	BUILDING SECTIONS 4 TYP. DETAILS
A8	GARAGE PLAN, SECTION 4 ELEVATIONS
A9	TYP. DETAILS
A10	CMHC RAIN SCREEN DETAILS
A11	WINDOW INSTALLATION SEQUENCES

PUBLIC SEWER AND WATER CONNECTION INFORMATION

3674 OXFORD ST.



ENGINEERING DEPARTMENT
Water, Sewer, & Green Infrastructure
Sewer & Drainage Design Branch

PUBLIC SEWER AND WATER CONNECTION INFORMATION

SEWER INFORMATION

This site plan shows the locations, sizes and invert elevations of the public storm and sanitary sewer connections. Plumbing fixtures are restricted as follows:

- All sanitary fixtures (including floor drains) with rim elevations below 85.151 m (geodetic) or 279.367 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).
- All storm fixtures with rim elevations below 85.151 m (geodetic) or 279.367 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).

Water Information

This site plan shows the location and size of the public water connection. The estimated minimum water main pressure is: 113.4 (psi)

NOTES

- The City of Vancouver does not guarantee the accuracy of the information provided on this Plan and circumstances may prevent the City from installing the public sewer and/or water connections at the locations and depths shown on this Plan.
- The Owner is responsible for locating and connecting to the public sewer and water connections installed by the City regardless of their actual installed locations and depths.
- The Owner is responsible for ensuring that the sizing of the private plumbing system is adequate for the storm & sanitary sewer discharges and the domestic & fire water flows.
- No person shall connect a building sewer or water system to a public connection without first obtaining a "Public Sewer & Water Connection Permit".
- All revisions related to the sewer and water information on this site plan must have Engineering review and acceptance prior to making the change(s). Any requests for changes after a City crew has arrived at the site may cause installation delays and additional costs.

ZONING SUMMARY:

PROPOSAL:	TWO FAMILY DWELLING WITH 2-CAR GARAGE				DUPLEX
CIVIC ADDRESS:	3674 OXFORD STREET VANCOUVER BC				ZONE: RS-1
LEGAL ADDRESS:	LOT 11 OF LOT 10 TOWN OF HASTINGS SUBURBAN LANDS PLAN 1591				
EXISTING HOUSE BUILT:	1926				
LOT SIZE:	3957.00 SF	NORTH PL 32.46	WEST PL 121.90	SOUTH PL 32.46	EAST PL 121.91 (FT)
BLDG:	MINIMUM	MAXIMUM	PROPOSED		
4.1 SITE AREA:	3595.15 SF	5500.00 SF	3957.00 SF		
LOT AREA:	32.15 FT		32.46 FT		
4.3 HEIGHT:					
HEIGHT:		35.10 FT	<35.1 FT		
NO. STOREY:		2.50 STOREY	2.50 STOREY		
4.4 FRONT YARD:					
20% AVERAGE:	WEST PL 24.38	EAST PL 24.38 (FT)	WEST PL 24.38		
	21.58 FT		24.39 (FT)		
4.5 SIDE YARD:					
% OF SITE WIDTH = (SITE WIDTH (M)/1.219)-5	WEST PL 3.12	EAST PL 3.12 (%)			
MIN 10% TO MAX 20%:	3.25	3.25 (FT)	3.30		
			3.91 (FT)		
4.6 REAR YARD:					
40%:	WEST PL 48.76	EAST PL 48.76 (FT)	48.77		
			48.76 (FT)		
4.7 FSR:					
FSR:	2855.07 SF (+2% & MECH RM.)	2769.90 SF (70%)	2855.04 SF		
			1150.02 SF		
			1187.02 SF		
			518.00 SF		
TOTAL DECK:	360.09 SF (13%)		172.02 SF		
COVERED PORCH CLG. HT.:	10.17 FT		76.00 SF		
OPEN DECK:	221.59 SF (8%)		0.00 SF		
			248.02 SF		
4.8 SITE COVERAGE:					
SITE COVERAGE:	1780.65 SF (45%)		1741.30 SF		
IMPERMEABLE AREA:	2374.20 SF (60%)		2374.10 SF		
4.16 BUILDING DEPTH:					
BLDG DEPTH 40%:	WEST PL 48.76	EAST PL 48.76 (FT)	48.75 FT		
ACCESSORY BLDG:	MINIMUM	MAXIMUM	PROPOSED		
PARKING STALL AREA:	2 for Duplex; 3 if have sec suite	516.68 SF	2.00 STALL		
			515.28 SF		
SLOPE ROOF HEIGHT:	15.09 FT		<15.09 FT		
WIDTH:	25.97 FT (80% OF WIDTH)		22.08 FT		
LANE WIDTH:	15.00 FT		20.00 FT		

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		



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PROJECT
PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3674 OXFORD STREET VANCOUVER B.C.

DRAWING TITLE
SITE PLAN 4 PROJECT SUMMARY

DRAWN	gm	DATE	MAR/2023
CHK'D	py	JOB No.	
DESIGN		DRAWING No.	
CHK'D			A1
SCALE	AS SHOWN		

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- BLDG TO BE FULLY SPRINKLERED TO NFPA 13D
- CARBON MONOXIDE ALARM AND PHOTO ELECTRIC INTERCONNECTED SMOKE ALARM
- EXHAUST FAN
- FLOOR DRAIN
- ROOF DRAIN

SG - TEMPERED/LAMINATED SAFETY GLASS

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE PLYWOOD SHEATHING OR CONC. FOUNDATION WALL. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.

AS PER VBCB 2019 REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH ENTIRE SECTIONS OF 9.8.1. HANDRAILS AND 9.8.2. GUARDS

- RISE BETWEEN 195MM, 200MM (4.92", 5.07")
- RUN BETWEEN 255MM, 355MM (10.04", 13.98")
- MINIMUM 865MM (2'-10") LANDING/STAIRS WIDTH FOR LUH
- MINIMUM 914MM (3'-0") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
- MINIMUM 1850MM (6'-1") HEADROOM FOR STAIRS AND LANDING

AS PER VBCB 2019 9.10.13.1(1) SMOKE ALARMS SHALL BE INSTALLED SO THAT:

1) WITHIN DWELLING UNITS; SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:

A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND
 B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED

1) IN EACH SLEEPING ROOM, AND
 1) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-5953 "INSTALLATION OF SMOKE ALARMS."

3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10.13.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

AS PER 2019 VBCB 4 2019 BUILDING BYLAW 3.8.5.2 & 3.8.5.1

- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-10")
- EXTERIOR DOORS TO BE MINIMUM (3'-0")

CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2

THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:

A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVING CLEARANCE.

B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE" NO OTHER USE IS PERMITTED, STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEMS COVERAGE) NOTE: RUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEMS COVERAGE.

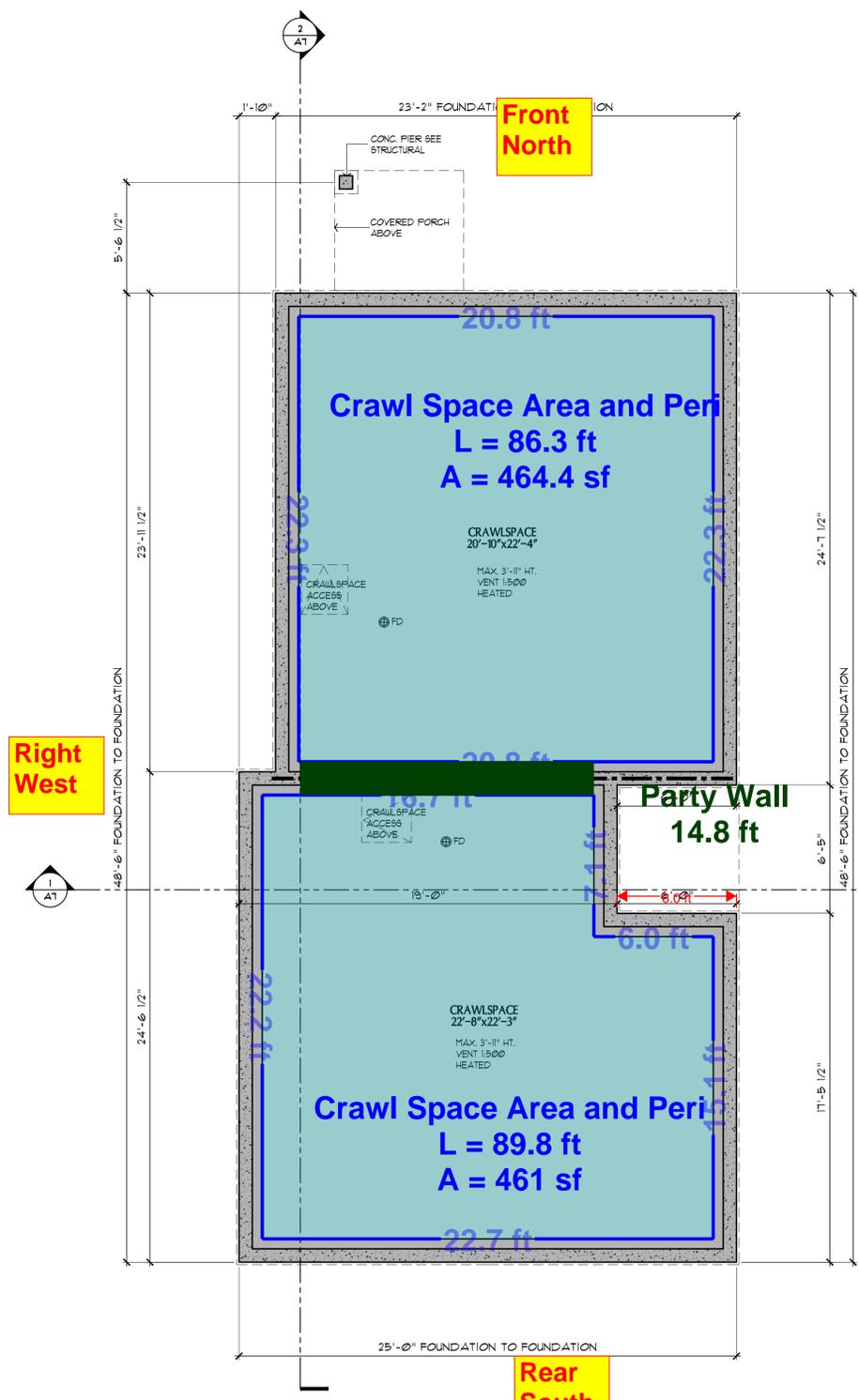
C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVICING.

D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.

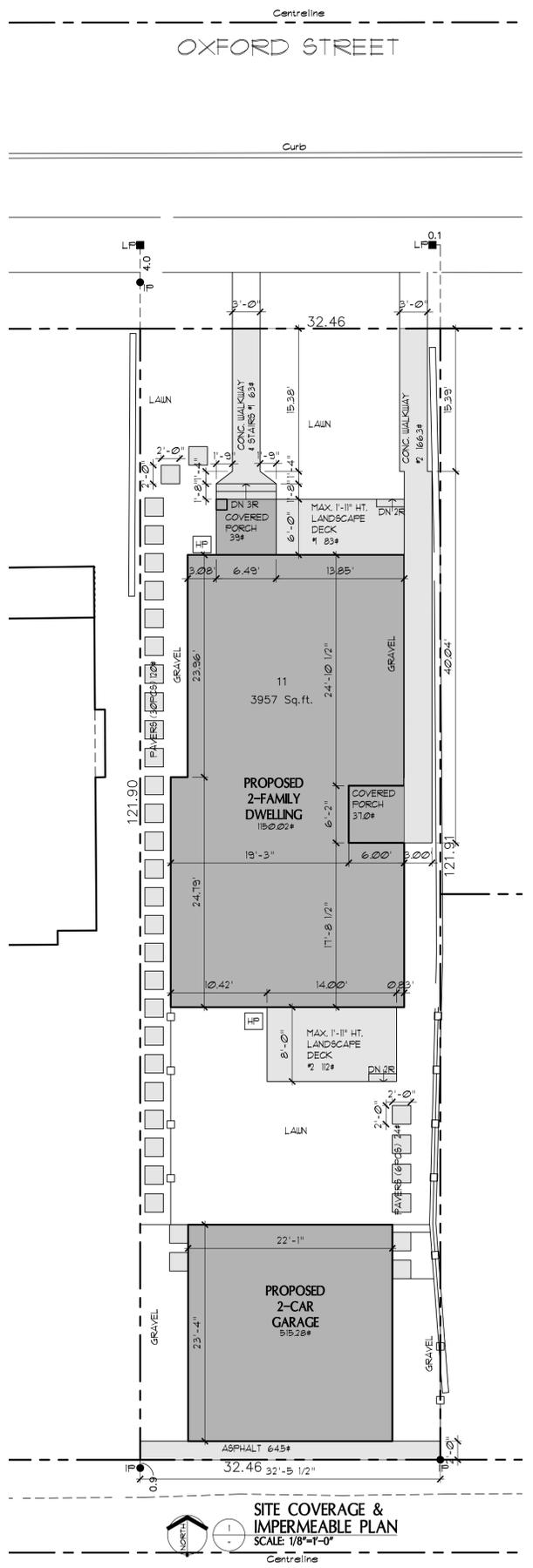
E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.

F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE (ENCLOSURE).

G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.



CRAWLSPACE FLOOR PLAN
 SCALE 1/4"=1'-0"



SITE COVERAGE & IMPERMEABLE PLAN
 SCALE 1/8"=1'-0"

SITE COVERAGE SUMMARY	
ALLOWABLE - 45%	1780.65 SF
SITE AREA	3957.00 SF
PROPOSED:	
BLDG	1150.02
COVERED PORCH & DECK	76.00
GARAGE	515.28
TOTAL (PROPOSED)	1741.30 SF

SITE IMPERMEABLE SUMMARY	
ALLOWABLE - 60%	2374.20 SF
SITE AREA	3957.00 SF
PROPOSED:	
BLDG	1150.02 SF
COVERED PORCH & DECK	76.00 SF
GARAGE	515.28 SF
CONC WALKWAY & STAIR #1	63.00 SF
CONC WALKWAY #2	166.30 SF
LANDSCAPE DECK #1	83.00 SF
PAVERS (30PGS)	120.00 SF
PAVERS (8PGS)	24.00 SF
LANDSCAPE DECK #2	112.00 SF
ASPHALT	64.50 SF
TOTAL (PROPOSED):	2374.10 SF

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

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PROJECT
 PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3614 OXFORD STREET
 VANCOUVER B.C.

DRAWING TITLE
 SITE COVERAGE & IMPERMEABLE SITE PLAN & CRAWLSPACE PLAN

DRAWN BY	DATE	MAR/2023
CHK'D BY	JOB No.	
DESIGN	DRAWING No.	
CHK'D		A3
SCALE	AS SHOWN	

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- BLDG. TO BE FULLY SPRINKLERED TO NFPA 13D
- CARBON MONOXIDE ALARM AND PHOTO-ELECTRIC INTERCONNECTED SMOKE ALARM
- EXHAUST FAN
- FLOOR DRAIN
- ROOF DRAIN

SG = TEMPERED/LAMINATED SAFETY GLASS

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FINISH. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.

AS PER V.B.C. 2019 REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH SECTION 9.8.7, HANDRAILS AND GUARDS

- RISE BETWEEN 125MM (4.92") TO 181MM (7.13")
- RUN BETWEEN 295MM (11.61") TO 381MM (14.96")
- MINIMUM 865MM (33.66") LANDING/STAIRS WIDTH FOR LHM
- MINIMUM 914MM (35.98") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
- MINIMUM 1950MM (76.77") HEADROOM FOR STAIRS AND LANDING

AS PER V.B.C. 2019 9.10.13.1) SMOKE ALARMS SHALL BE INSTALLED SO THAT:

- 1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:

- A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND
- B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED

1) IN EACH SLEEPING ROOM, AND

2) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

- 2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-9593, "INSTALLATION OF SMOKE ALARMS."

- 3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10.19.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

AS PER 2019 V.B.C. 4.20.19 BUILDING BYLAW 3.8.5.2 & 3.8.5.3

- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-0")
- EXTERIOR DOORS TO BE MINIMUM (3'-0")

CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2.

THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:

- A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVICING CLEARANCE.
- B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE". NO OTHER USE IS PERMITTED. STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE) NOTE: FUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE.
- C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVICING.
- D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.
- E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.
- F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE /ENCLOSURE.
- G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.

FRONT UNIT:
574.51 SF
FRONT UNIT
TOTAL AREA:
1405.04 SF

MF Area and Perimeter
L = 89.7 ft
A = 502.9 sf

Front North

BACK UNIT:
575.51 SF
BACK UNIT
TOTAL AREA:
1450.00 SF

MF Area and Perimeter
L = 93.3 ft
A = 501.4 sf

Rear South

1 MAIN FLOOR PLAN
SCALE 1/4"=1'-0"

1150.02 SF
SQFT CALCULATED TO OUTER MOST CLADDING

MECHANICAL SYSTEM:
HEAT PUMP (HEATING & COOLING),
HRV, ELEC. HUT

ENTIRE BUILDING TO BE SPRINKLERED TO NFPA 13-D

FRONT UNIT:
571.76 SF
FRONT UNIT
TOTAL AREA:
1405.04 SF

UF Area and Perimeter
L = 89.7 ft
A = 502.8 sf

Left East

UF Area and Perimeter
L = 93.3 ft
A = 543.5 sf

2 SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

1187.02 SF
SQFT CALCULATED TO OUTER MOST CLADDING

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

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PROJECT
PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3614 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
MAIN & SECOND FLOOR PLANS

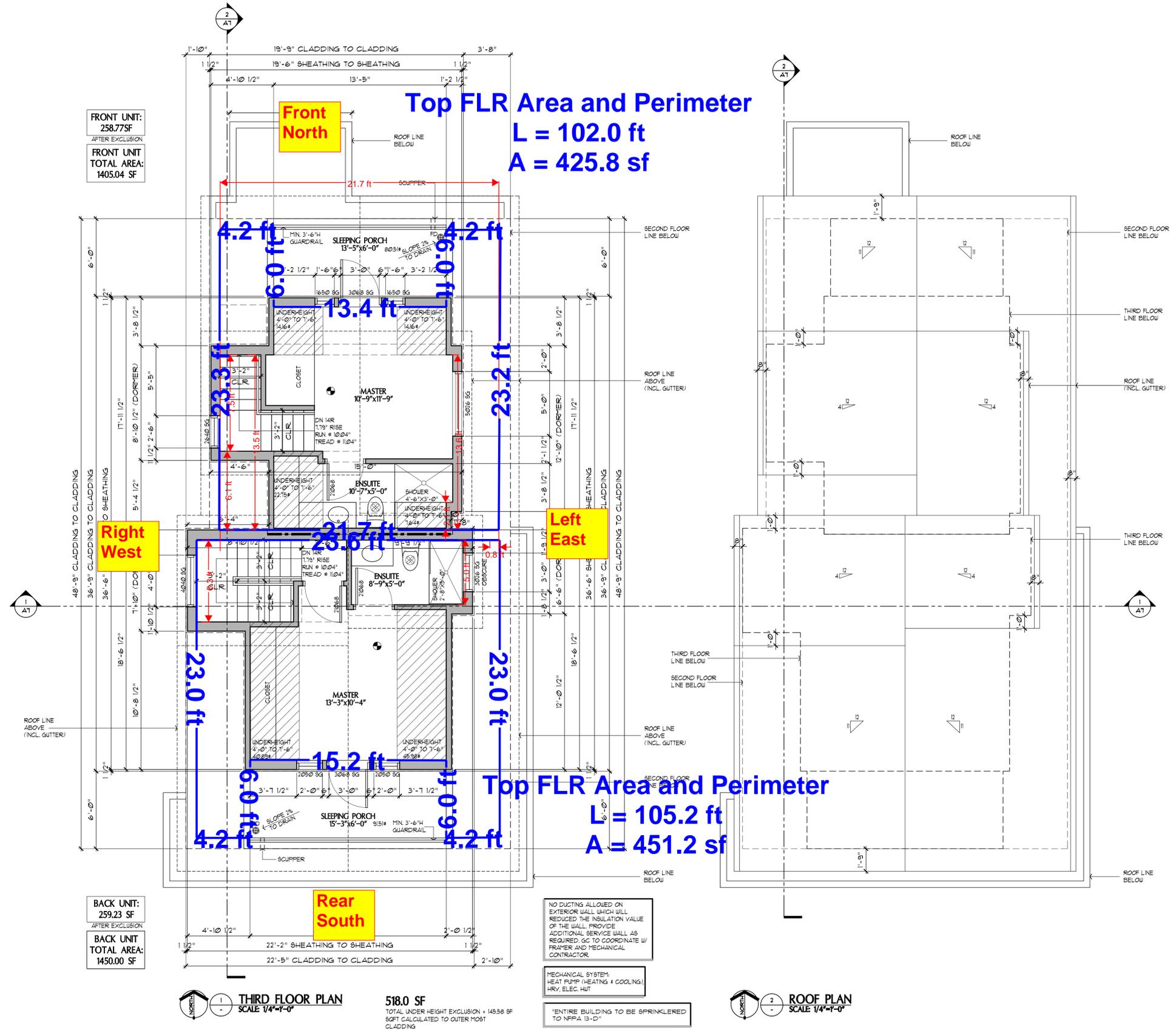
DRAWN	gm	DATE	MAR/2023
CHK'D	py	JOB No.	
DESIGN		DRAWING No.	
CHK'D			A4
SCALE	AS SHOWN		

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 - CARBON MONOXIDE ALARM AND PHOTO ELECTRIC INTERCONNECTED SMOKE ALARM
 - EXHAUST FAN
 - FLOOR DRAIN
 - ROOF DRAIN
- SG = TEMPERED/LAMINATED SAFETY GLASS
- NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE PLYWOOD SHEATHING OR CONC. FOUNDATION WALL. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.
- AS PER V.B.C. 2019 REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH ENTIRE SECTIONS OF 9.8.7, HANDRAILS AND 9.8.8 GUARDS
- RISE BETWEEN 25MM 200MM (4.92", 1.61')
 - RUN BETWEEN 25MM 350MM (10.24", 13.93')
 - MINIMUM 860MM (2'-10") LANDING/STAIRS WIDTH FOR LULU
 - MINIMUM 914MM (3'-0") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
 - MINIMUM 1850MM (6'-1") HEADROOM FOR STAIRS AND LANDING
- AS PER V.B.C. 2019 9.10.13.1 SMOKE ALARMS SHALL BE INSTALLED SO THAT:
- 1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:
 - A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND
 - B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED
 - 1) IN EACH SLEEPING ROOM, AND
 - 2) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
 - 2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-5553 "INSTALLATION OF SMOKE ALARMS."
 - 3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10.13.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.
- AS PER 2019 V.B.C. 4 2019 BUILDING BYLAW 3.8.5.2 & 3.8.5.1
- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-10")
 - EXTERIOR DOORS TO BE MINIMUM (3'-0")
- CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2.
- THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:
- A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVING CLEARANCE.
 - B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE"; NO OTHER USE IS PERMITTED. STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE) NOTE: FUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE.
 - C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVING.
 - D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.
 - E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.
 - F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE ENCLOSURE.
 - G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.



DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

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PROJECT
PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3674 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
THIRD FLOOR & ROOF PLANS

DRAWN	DATE
SM	MAR/2023

CHKD	JOB No.
PT	

DESIGN	DRAWING No.

CHKD	SCALE
	A5

SCALE AS SHOWN

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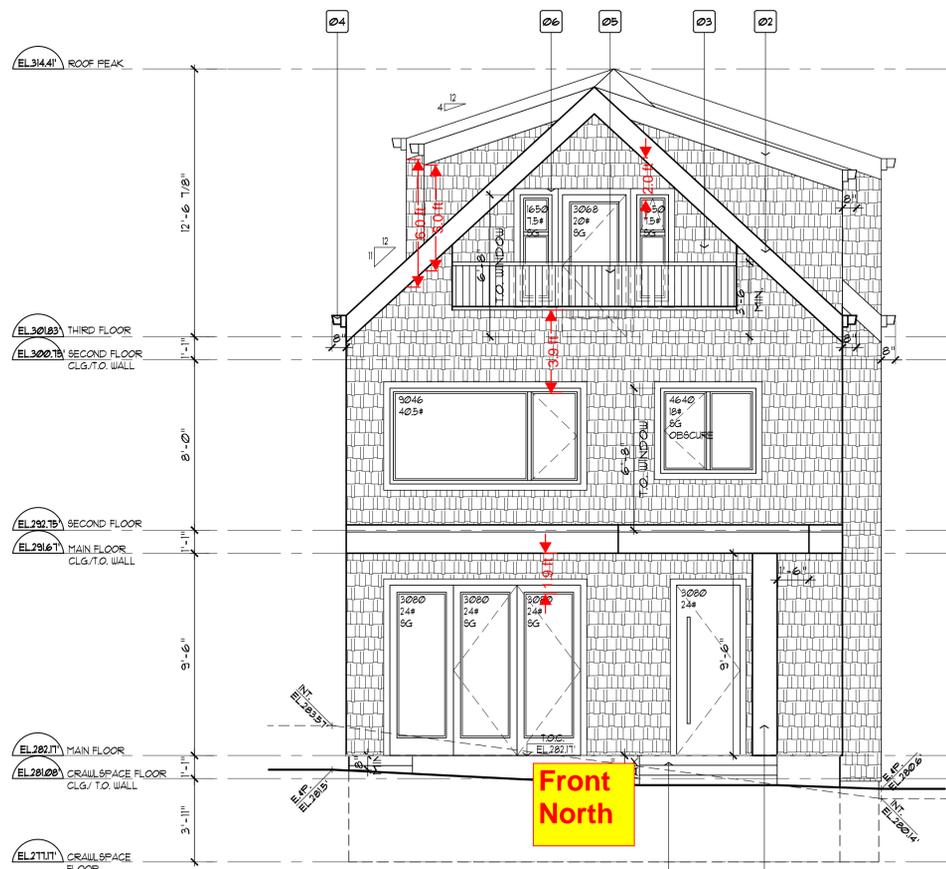
- LEGEND:**
- 01 ASPHALT ROOF SHINGLES
 - 02 2X12 HARDIE FASCIA BOARD
 - 03 HARDIE SHAKES
 - 04 METAL GUTTER OVER 2X8 FASCIA BOARD
 - 05 MIN. 3'-6" H ALUM. GUARDRAIL
 - 06 VINYL FRAME WINDOW C/W 4" TRIM
 - 07 CONC. LANDING 4 STAIRS
 - 08 BUILT-UP WOOD COLUMN

		PROPOSED FSR		2855.04 SF	
		North (SF)	West (SF)	South (SF)	East (SF)
PATIO DOOR/WINDOW:					
THIRD		7.50	10.00	10.00	7.50
		20.00	16.00	20.00	12.50
		7.50		10.00	
SECOND					
		40.50	7.50	36.00	8.75
		18.00	10.00	18.00	7.00
			6.00		17.50
			22.00		9.00
MAIN					
		24.00	7.50	48.00	11.25
		24.00	9.00	24.00	4.00
		24.00	12.00	24.00	11.25
				24.00	18.00
				24.00	
TOTAL:		165.50	109.00	239.00	115.25 (SF)
PATIO DOOR/WINDOW TOTAL:					627.75 SF

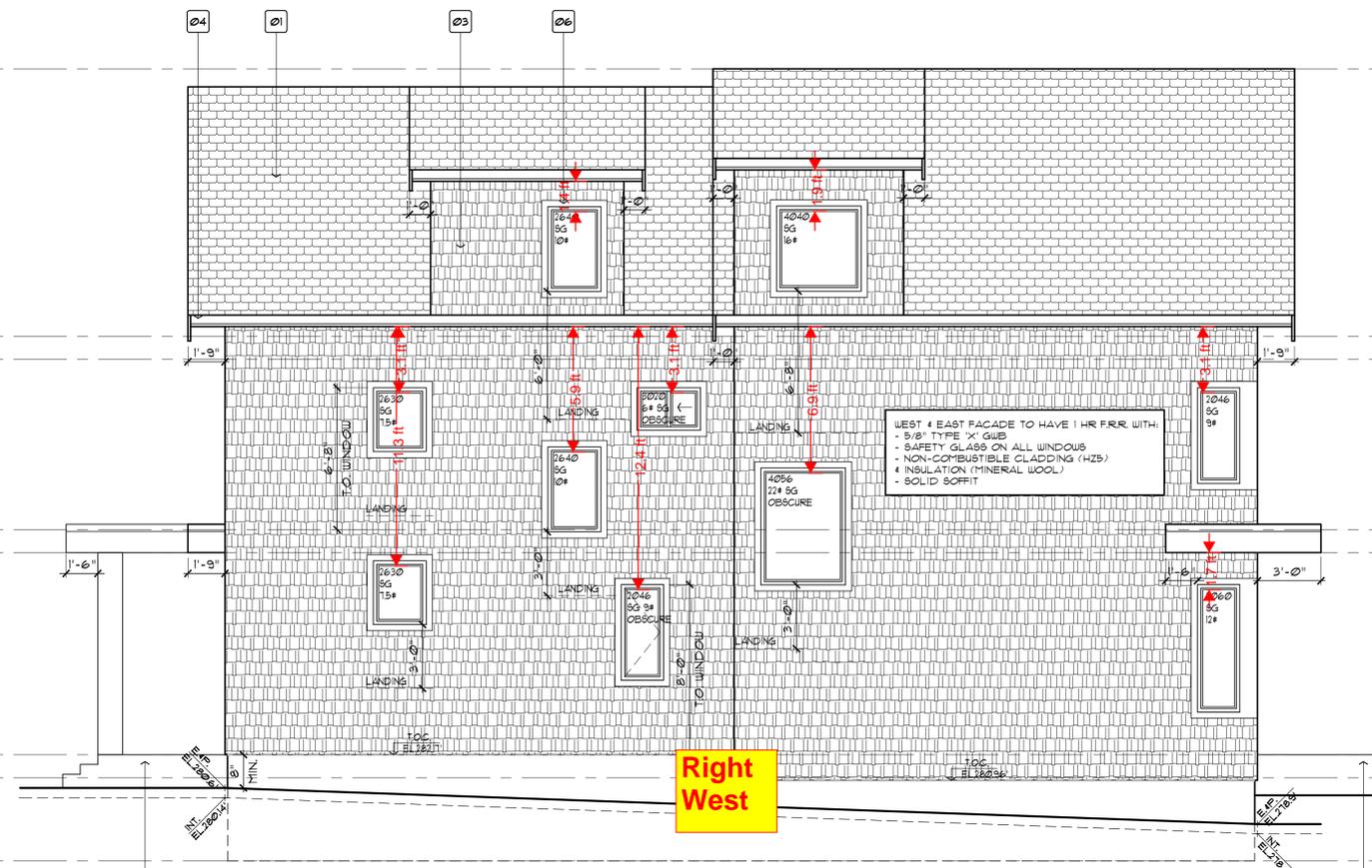
GLASS OPENING TOTAL (DOOR & WINDOW): 627.75 SF
 Proposed patio door and window type: 1.4 W/(K.M2)
 Proposed skylight type: 2.4 W/(K.M2)

SPATIAL SEPARATION SUMMARY

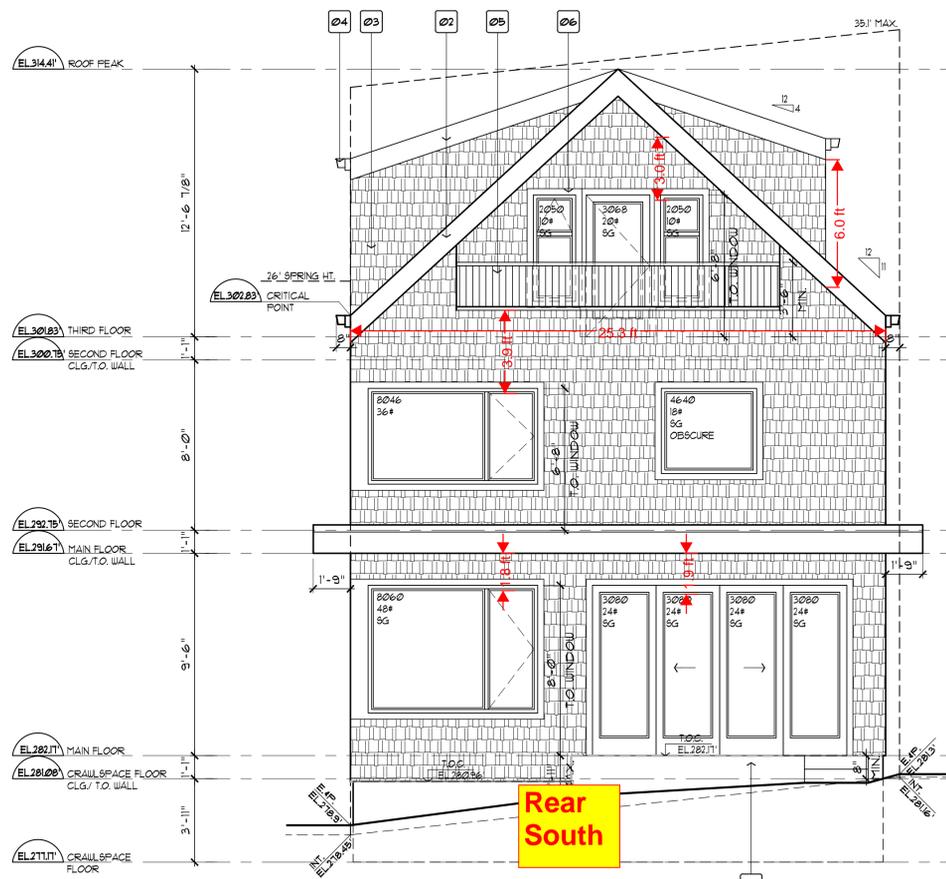
	WEST	EAST
LIMITING DISTANCE:	3.30 FT	3.91 FT
EXPOSING BLDG FACE:	1239.95 SF	1168.73 SF
PROPOSED AREA OF UNPROTECTED OPENING:	109.00 SF	115.25 SF
ALLOWABLE AREA OF UNPROTECTED OPENING	124.00 SF (10%)	116.87 SF (10%)



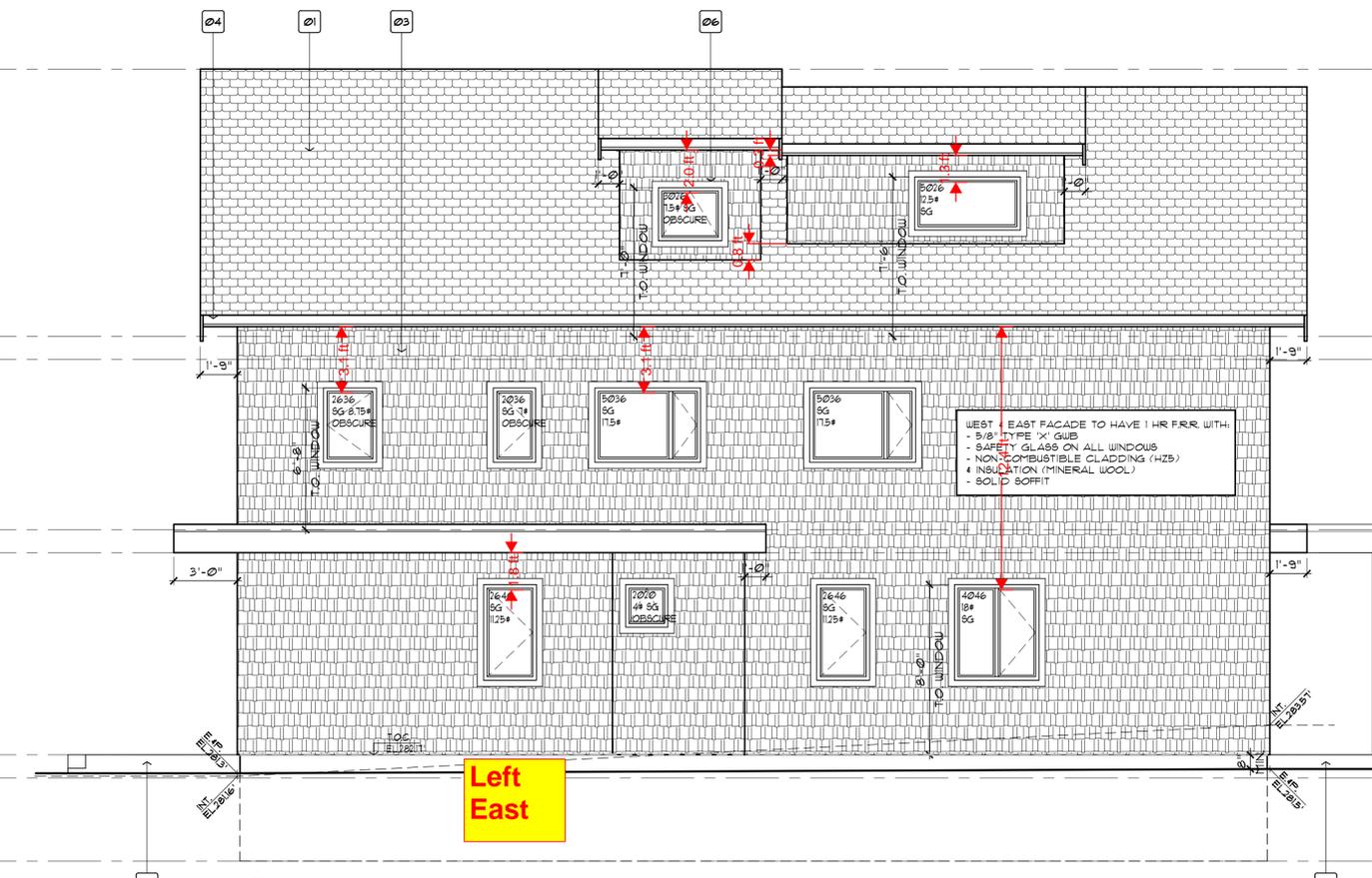
1 FRONT/NORTH ELEVATION
SCALE 1/4"=1'-0"



2 SIDE/WEST ELEVATION
SCALE 1/4"=1'-0"



3 REAR/SOUTH ELEVATION
SCALE 1/4"=1'-0"



4 SIDE/EAST ELEVATION
SCALE 1/4"=1'-0"

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

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PROJECT
 PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3614 OXFORD STREET
 VANCOUVER B.C.

DRAWING TITLE
 ELEVATIONS

DRAIN gmt DATE MAR/2023

CHKD ppy JOB No.

DESIGN DRAWING No.

CHKD A6

SCALE AS SHOWN

TOC, XXXXX
 NOTE: SHADED DASHED LINES DENOTE TOP OF CONCRETE FDN. WALL

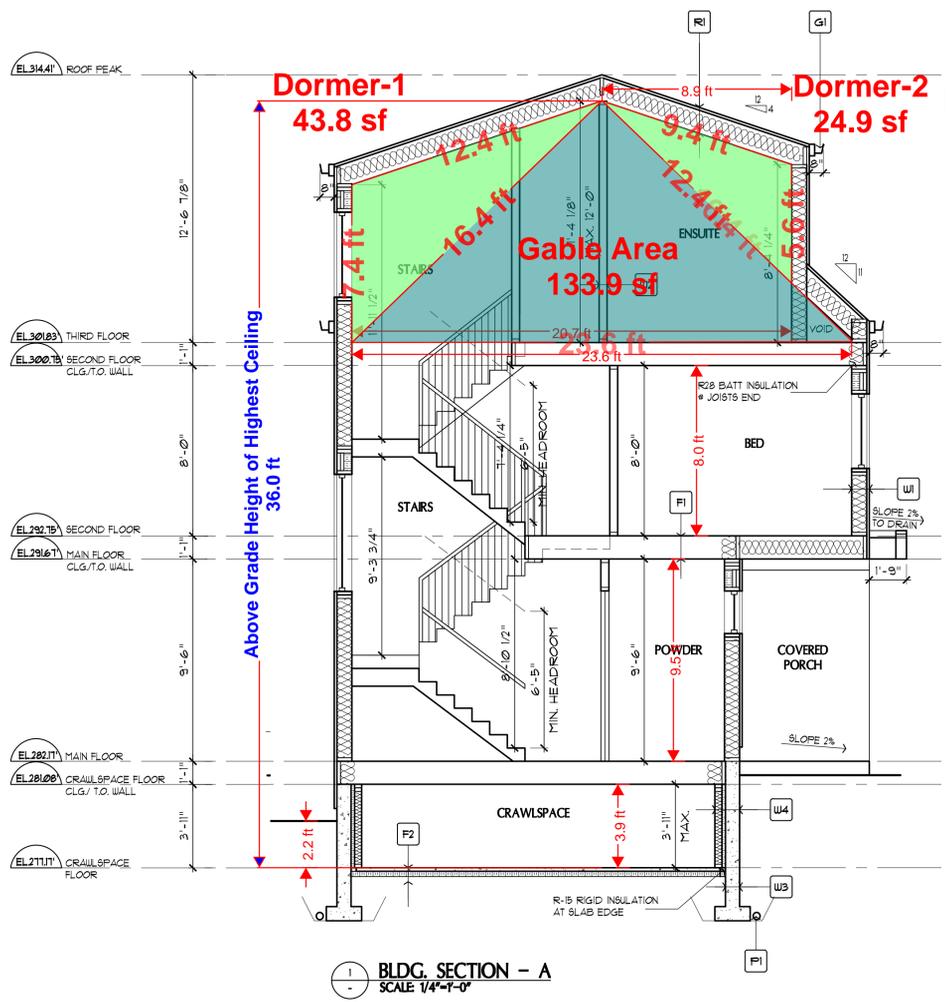
SG = TEMPERED/LAMINATED SAFETY GLASS

ROOF SOFFITS LOCATED WITHIN 12M OF A PROPERTY LINE SHALL HAVE NO OPENINGS AND COMPLY WITH VBBL 2019 9.10.15.5 (10)

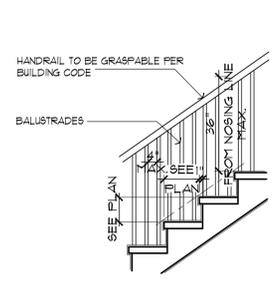
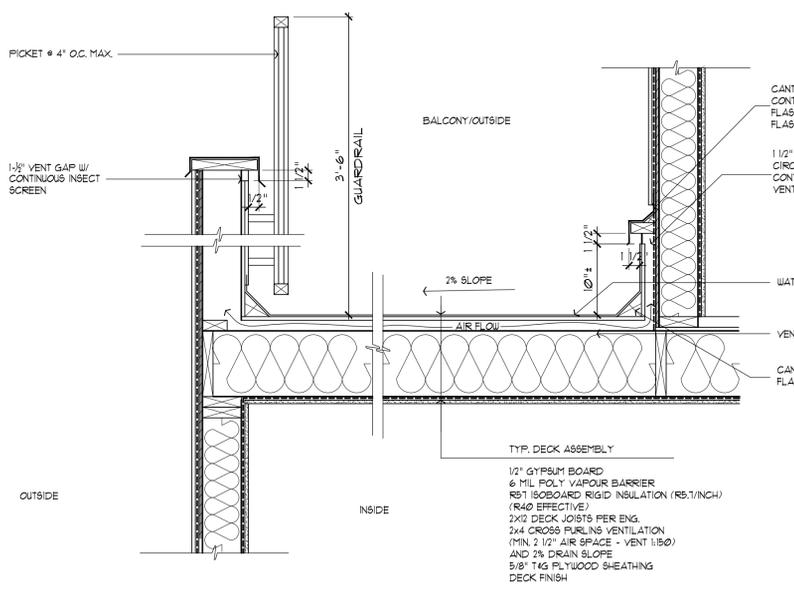
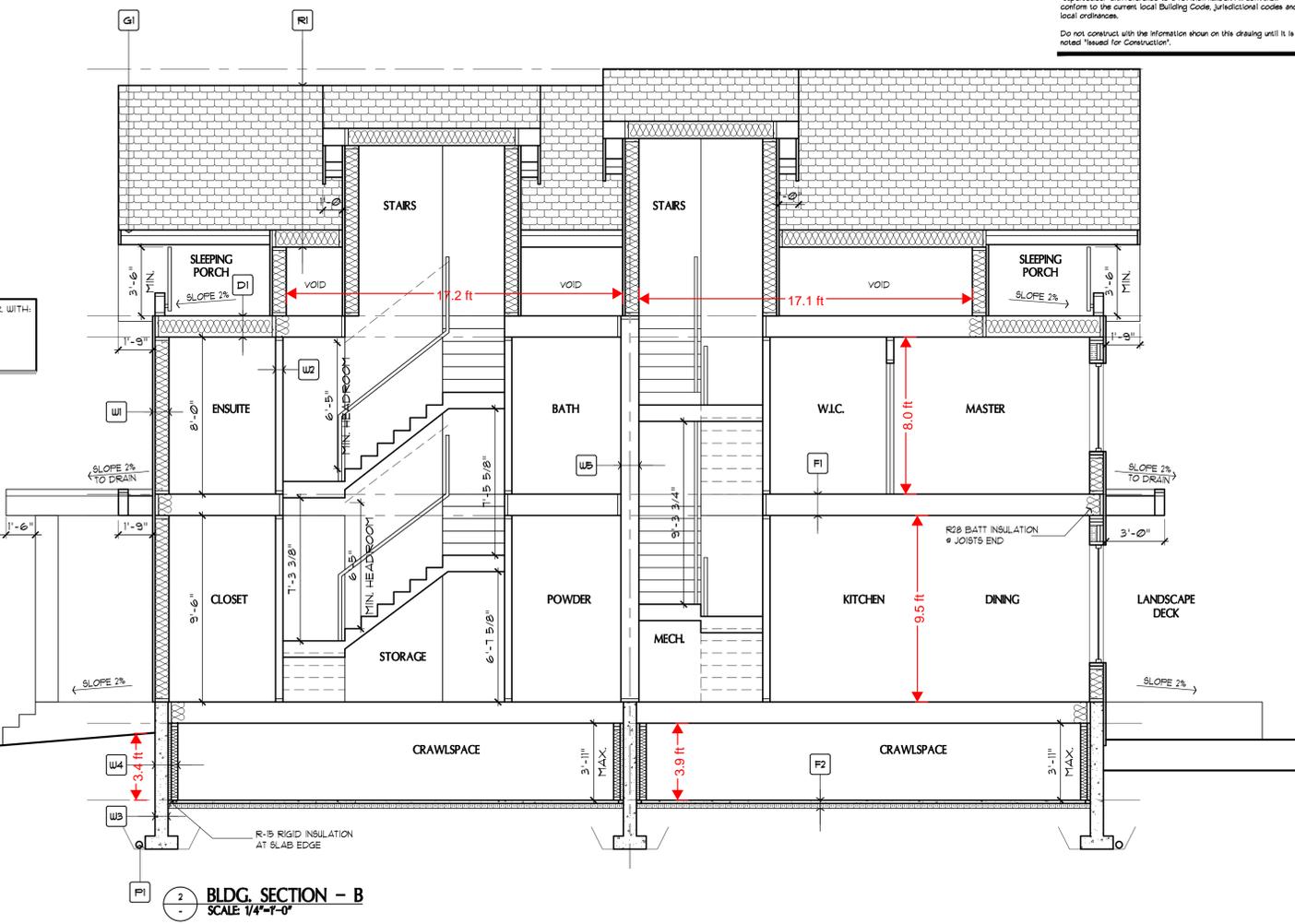
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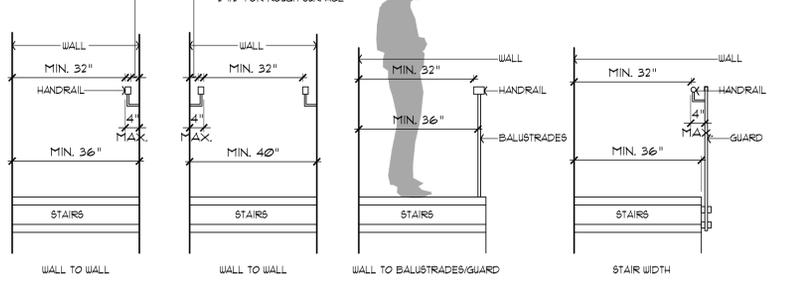


- CONSTRUCTION ASSEMBLY NOTES:**
- R1** CATHEDRAL ROOF ASSEMBLY
ASPHALT SHINGLES
WATERPROOF ROOF MEMBRANE (WATER RESISTIVE BARRIER)
EAVE PROTECTION
5/8" ROOF SHEATHING
2x4 CROSS PURLINS VENTILATION (MIN. 2 1/2" AIR SPACE - VENT 1/50)
2x12 RAFTERS @ 24" O.C. PER ENG.
1/2" GYPSUM BOARD (R40 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - G1** GUTTER & EAVE (TYP.)
CONTINUOUS GUTTER C/W RAIN WATER LEADERS TO SEPARATE PERM. DRAIN ON 2x8 FASCIA BOARD W/ EAVE PROTECTION TO MIN. 12" FAST INSIDE FACE OF STUD LINE VENTED SOFFIT
 - F1** FLOOR ASSEMBLY (TYP.)
FLOOR FINISH
5/8" TAG PLYWOOD SHEATHING (MIN. 2 1/2" AIR SPACE - VENT 1/50) AND 2% DRAIN SLOPE
2x12 DECK JOISTS PER ENG.
R21 SOBOARD RIGID INSULATION (R5.7/INCH) (R40 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - F2** CRAWL SPACE SLAB ASSEMBLY
2" CONC. SKIM COAT
VAPOUR RETARDER
R15 RIGID INSULATION
COMPACT FILL OR SAND SOLID BEARING
 - F3** EXPOSED FLOOR ASSEMBLY (TYP.)
FLOOR FINISH
VAPOUR RETARDER
5/8" TAG PLYWOOD SUBFLOOR (MIN. 2 1/2" AIR SPACE - VENT 1/50) AND 2% DRAIN SLOPE
2x4 WOOD STUDS @ 16" O.C.
3.5" R4 INSULATION (R22 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - D1** DECK ASSEMBLY (TYP.)
DECK FINISH
5/8" TAG PLYWOOD SHEATHING
2x4 CROSS PURLINS VENTILATION (MIN. 2 1/2" AIR SPACE - VENT 1/50) AND 2% DRAIN SLOPE
2x12 DECK JOISTS PER ENG.
R21 SOBOARD RIGID INSULATION (R5.7/INCH) (R40 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - W1** EXTERIOR WALL (TYP.)
HARDIE SHAKES CLADDING SYSTEM (WATER SHEDDING SURFACE)
3/4" P.T. WOOD STRAPPING @ 16" O.C.
TYVEK OR EQUIVALENT (WATER RESISTIVE BARRIER & AIR BARRIER)
1/2" PLYWOOD SHEATHING
2x8 WOOD STUDS @ 24" O.C.
1" R28 HD BATT INSULATION (R24 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - W2** INTERIOR WALL (TYP.)
1/2" GYPSUM BOARD BOTH SIDES
2x4 STUDS @ 16" O.C.
 - W3** FOUNDATION WALL (TYP.)
DRAINAGE MAT
WATERPROOFING BELOW PROJECTING 6" ABOVE GRADE
8" REIN. CONG. WALL PER STRUCT.
ON SPREAD FTG. PER STRUCT.
 - W4** CRAWLSPACE EXTERIOR WALL ASSEMBLY (TYP.)
DRAINAGE MAT
WATERPROOFING
TYVEK OR EQUIVALENT (WATER RESISTIVE BARRIER & AIR BARRIER)
8" REIN. CONG. WALL PER STRUCT.
2" XPS RIGID INSULATION
2x4 WOOD STUDS @ 16" O.C.
3.5" R4 INSULATION (R22 EFFECTIVE)
6 MIL POLY VAPOUR BARRIER (VAPOUR BARRIER & AIR BARRIER)
1/2" GYPSUM BOARD
 - UB** PARTY WALL ASSEMBLY:
1.5" REIN. VESSEL WALL W/3A
5/8" TYPE 'X' GYPSUM BOARD
PLYWOOD PER STRUCT.
2"x4" WOOD STUDS @ 16" O.C.
1" SPACE
2"x4" WOOD STUDS @ 16" O.C.
PLYWOOD PER STRUCT.
5/8" TYPE 'X' GYPSUM BOARD
89MM ABSORPTIVE INSULATION (R14 BATT INSULATION ON EACH SIDE OF STUD WALL)
 - PI** PERIMETER DRAIN
CONT. PERIMETER DRAIN SYSTEM COVERED WITH POROUS BACKFILL SURROUND ON SOLID BEARING



STAIR NOTES:

- 2"x12" STRINGER REINFORCED W/ 2"x4" CARRIAGE
- GUARDRAIL TO BE 42" MIN. AFF. HANDRAIL TO BE 36" TO 42" FROM LINE OF NOSING
- PROVIDE 6'-6" MIN. HEADROOM
- RISE: MAX. 181"
- RUN: MIN. 1004"
- SEE FLOOR PLAN FOR NUMBER OF RISE AND RUN
- MIN. WIDTH OF STAIR FOR HOUSE: WALL TO WALL: 3'-0"
- MIN. WIDTH OF STAIR FOR L.I.H.: WALL TO WALL: 2'-10"
- ONE HANDRAIL TO BE CONTINUOUS FROM TOP TO BOTTOM OF STAIRS



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PROJECT
3614 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
BUILDING SECTIONS & TYP. DETAILS

DRAWN BY	DATE	MAR/2023
CHK'D BY	JOB No.	
DESIGN	DRAWING No.	
CHK'D		A7
SCALE	AS SHOWN	

